

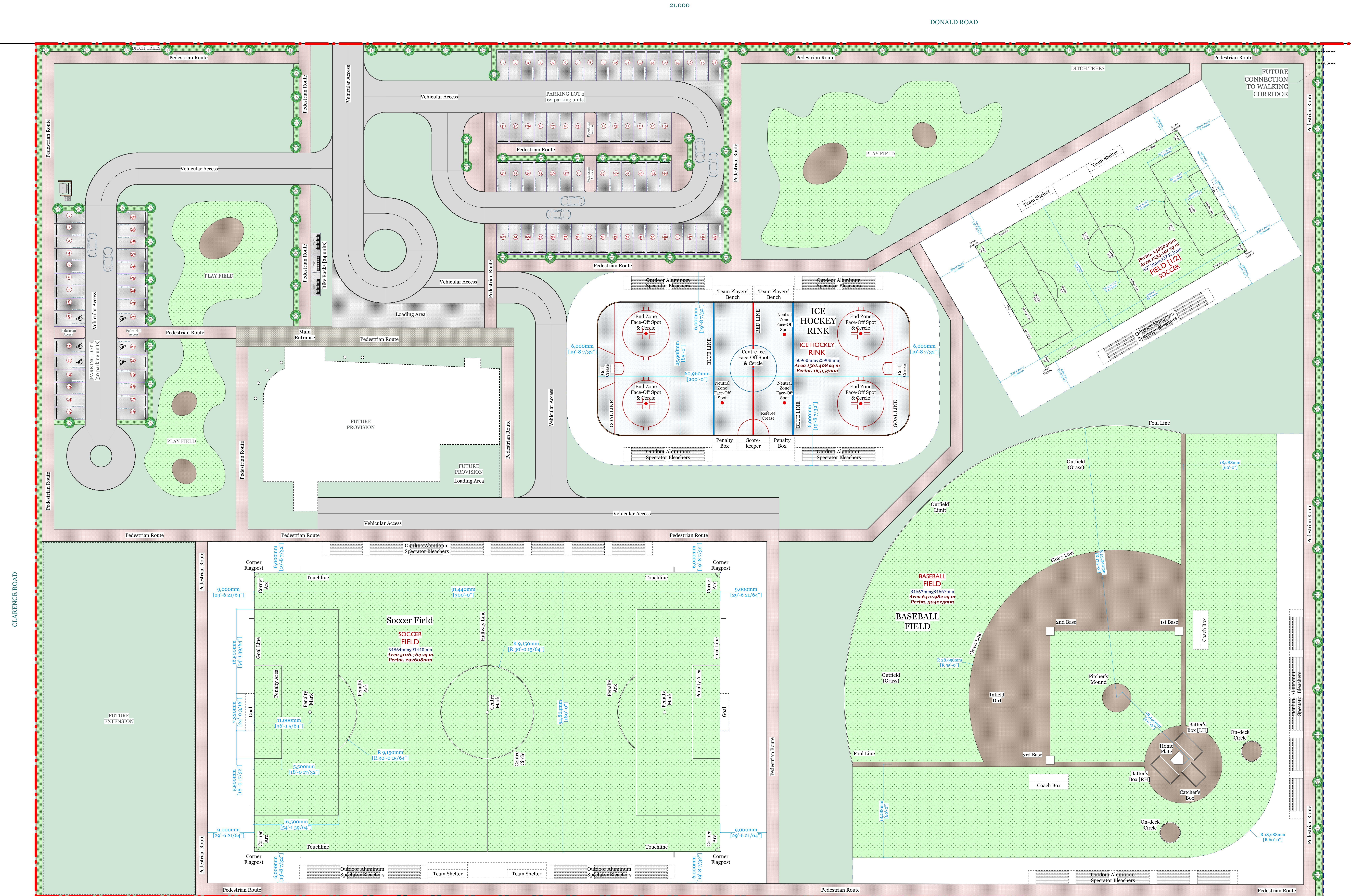
SITE AREAS: BLOCK 2, PARCELS 1 & 2
Donald Road, Narol, MB R1C
Rural Municipality of St. Clements

BLOCK 2, PARCEL 1	42,131.671 sq m	453,501.51 sq ft
BLOCK 2, PARCEL 2	42,213.510 sq m	454,382.42 sq ft
TOTAL Lots Area	84,345.181 sq m	907,883.94 sq ft

Denotes extent of SITE LOT

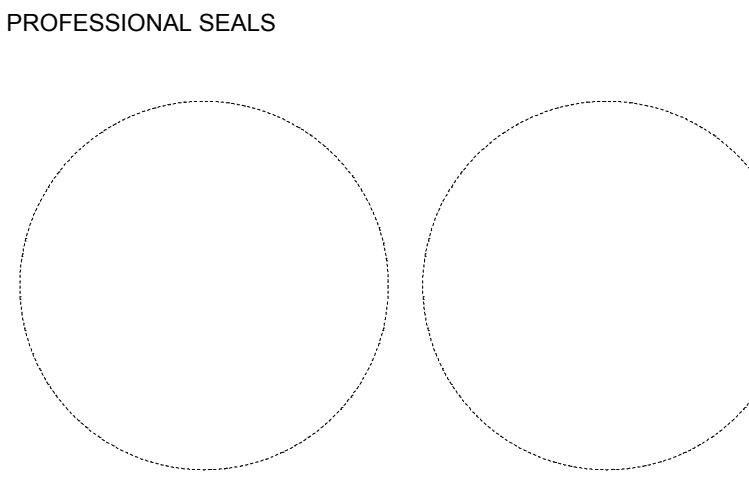
Denotes EXISTING BUILDING

Denotes EXISTING neighbouring buildings



PRELIMINARY
OPTION 3

2	7/7/14	Issued for review.
1	30/6/14	Issued for review.
NO.	DATE	ISSUE NOTES



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MISTECTURE
Architecture & Interiors

1749 Portage Avenue, Unit #1, Winnipeg, Manitoba R3J 0E8
Telephone - 204 510 7862

PROJECT TITLE
**ST. CLEMENTS
ACTIVITY CENTRE
Development**

LOCATION
Donald Rd, Narol, MB R1C
Rural Municipality of St. Clements

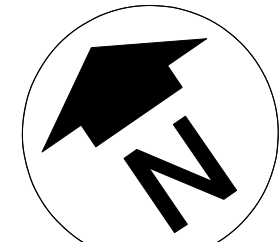
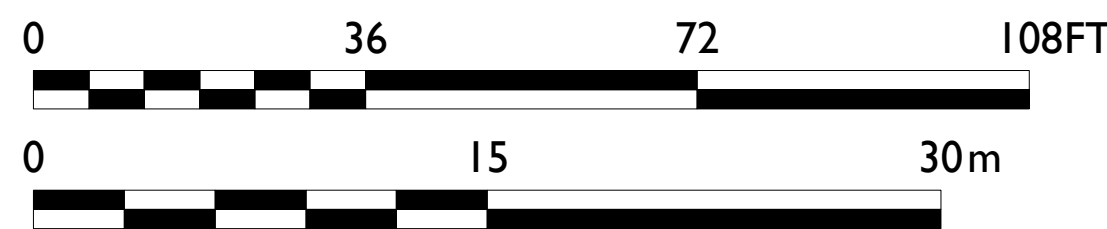
CLIENT
Dillon Consulting
1558 Wilton Place, Winnipeg, MB R3T 0Y4

DRAWING TITLE

LANDSCAPE
PLAN

DRAWN AVC	APPROVED HM	DRAWING NO.
SCALE A/N @ ARCH E	DATE ISSUED 2014.07.07	A1-15
PROJECT NUMBER 2014.10	REVISION NO.	

OPTION 3: PROVISION OF SPORTS FACILITIES AND
PARKING AREAS ONLY



1
A1-15
LANDSCAPE PLAN-LOT 1
SCALE 1:250
PROPOSED

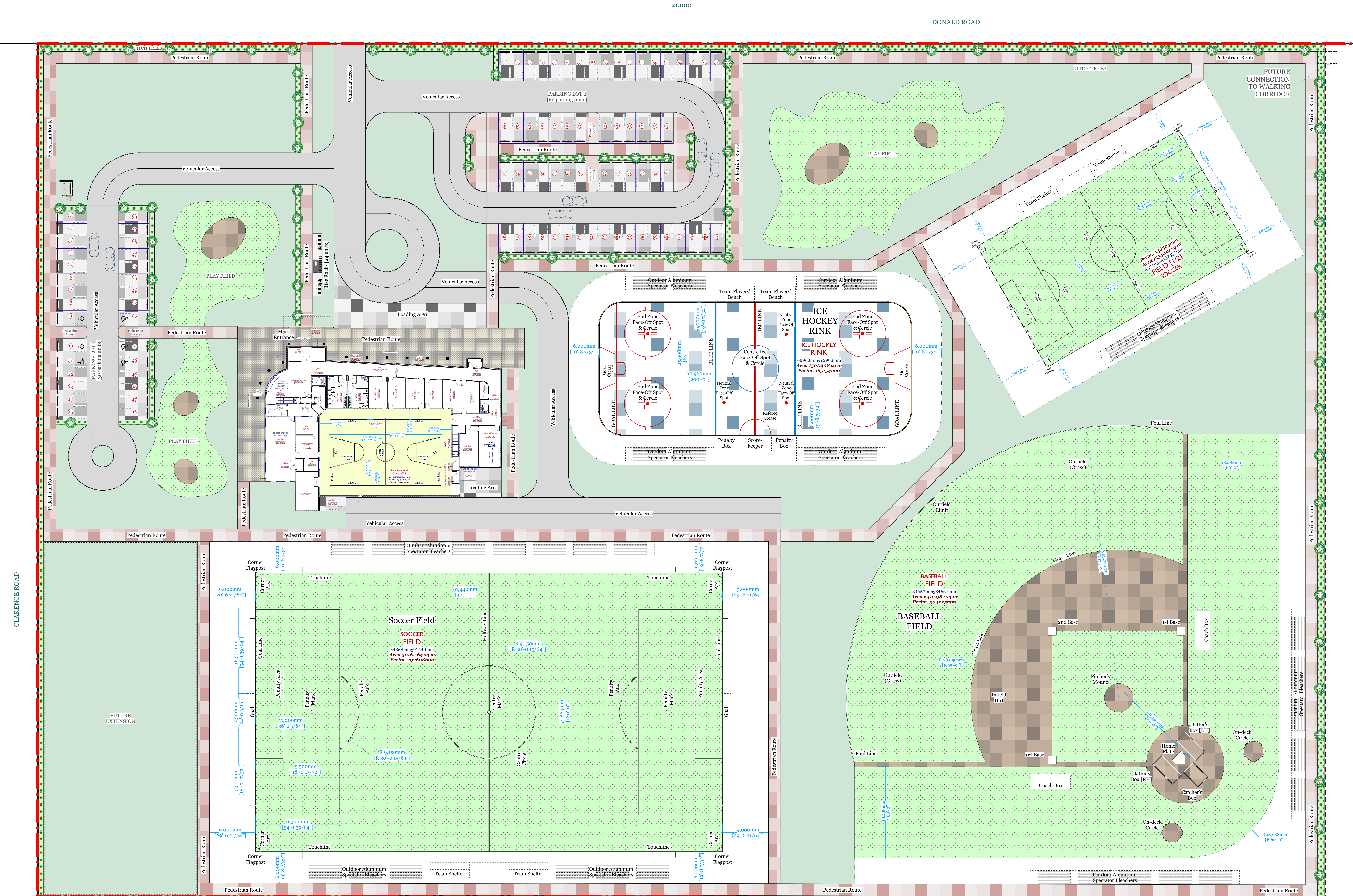
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Rural Municipality of St. Clements

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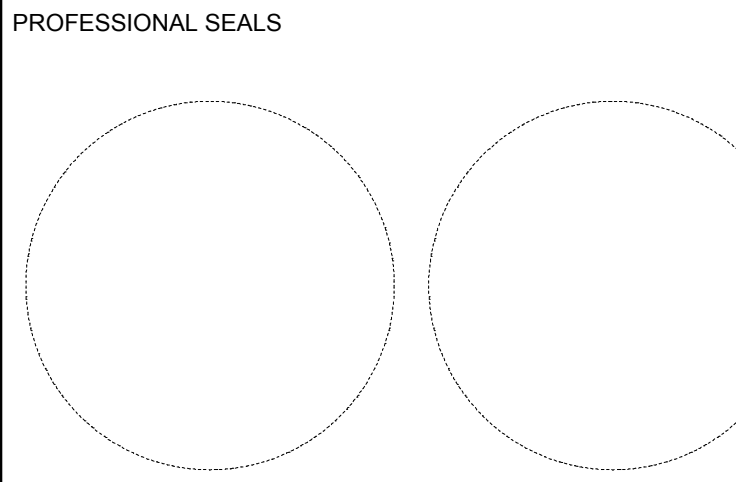
KEY TO SITE PLAN

- Denotes extent of SITE LOT
- Denotes EXISTING BUILDING
- Denotes EXISTING neighbouring buildings

PRELIMINARY
OPTION 4



1	7/7/14	Issued for review.
NO.	DATE	ISSUE NOTES



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MISTECTURE
Architecture & Interiors
1749 Portage Avenue, Unit #1, Winnipeg, Manitoba R3J 0E8
Telephone - 204 510 7862

PROJECT TITLE
**ST. CLEMENTS
ACTIVITY CENTRE
Development**

LOCATION
Donald Rd, Narol, MB R1C
Rural Municipality of St. Clements

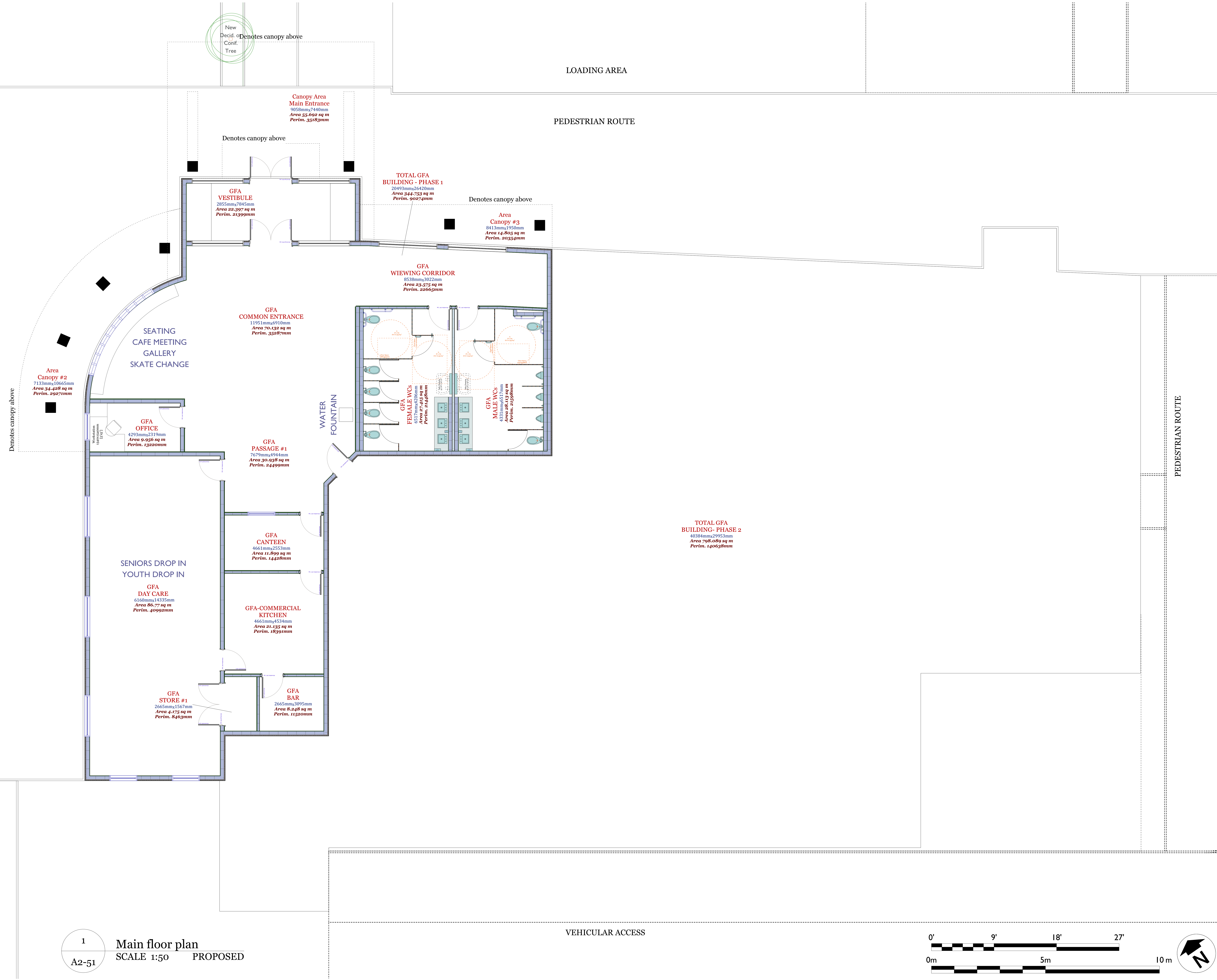
CLIENT
Dillon Consulting
1558 Wilson Place, Winnipeg, MB R3T 0Y4

DRAWING TITLE
**LANDSCAPE
PLAN**

DRAWN AVC	APPROVED HM	DRAWING NO.
SCALE A/N @ ARCH E	DATE ISSUED 2014.07.07	A1-15
PROJECT NUMBER 2014.10	REVISION NO.	

OPTION 4: COMPLETE SITE DEVELOPED
INCLUDING MEZZANINE ON 2ND FLOOR
TO GYM

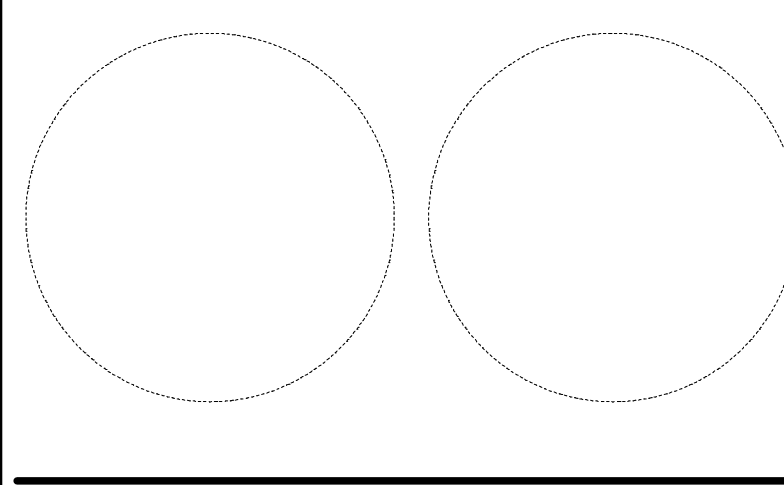
PRELIMINARY
OPTION 2



2	7/7/14	Issued for review.
1	30/6/14	Issued for review.

NO.	DATE	ISSUE NOTES
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PROFESSIONAL SEALS



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MISTECTURE

Architecture & Interiors

1749 Portage Avenue, Unit #1, Winnipeg, Manitoba R3J 0E8
Telephone - 204.510.7862

PROJECT TITLE

ST. CLEMENTS
ACTIVITY CENTRE
Development

LOCATION
Donald Rd, Nairn, MB R1C
Rural Municipality of St. Clements

CLIENT
Dillon Consulting
1558 Wilson Place, Winnipeg, MB R3T 0Y4

DRAWING TITLE

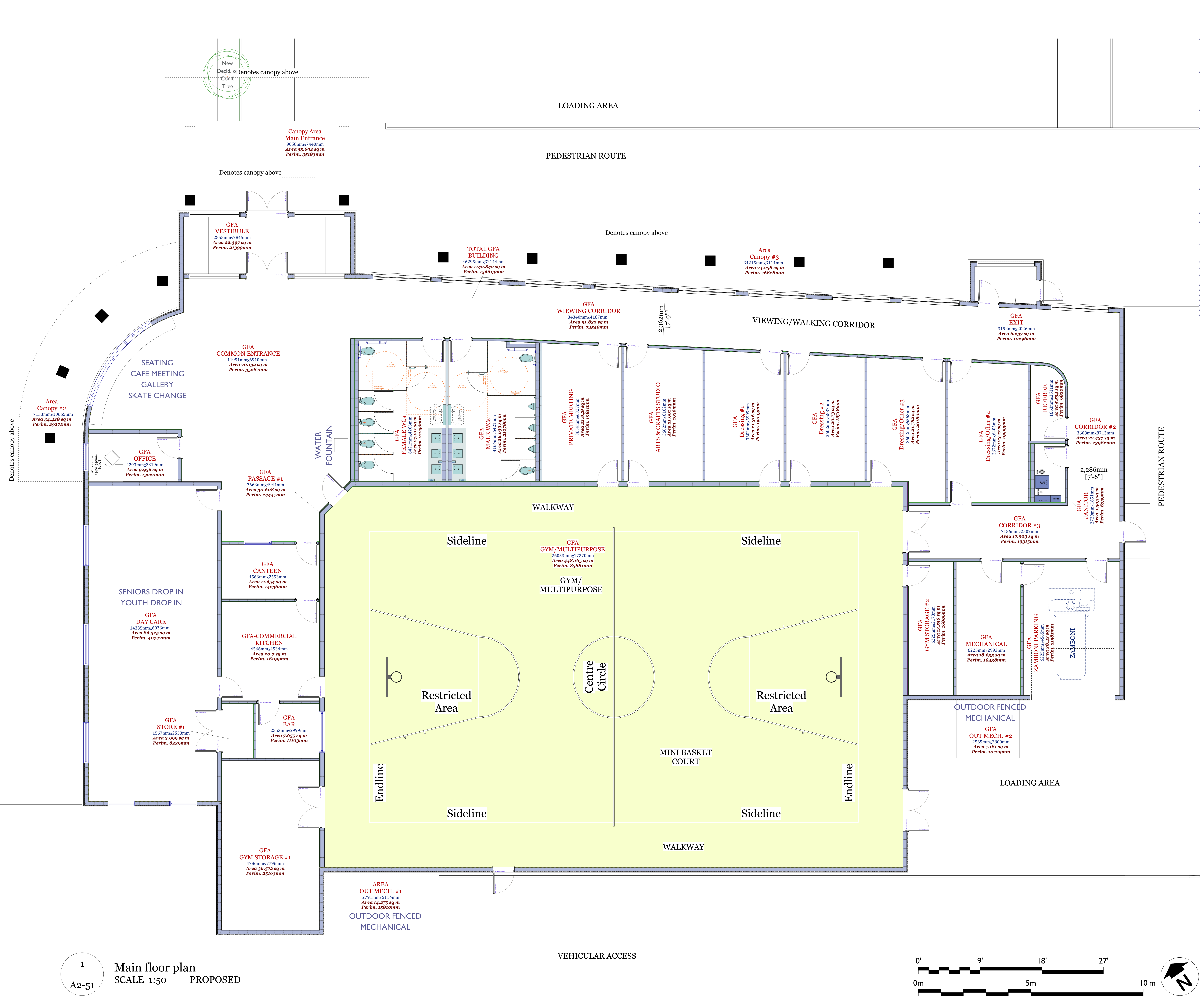
Main Floor Plan

PROPOSED

DRAWN AVC	APPROVED HM	DRAWING NO.
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SCALE A/N @ ARCH E	DATE ISSUED 2014.07.07	A0-15
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PROJECT NUMBER 2014.10	REVISION NO.	
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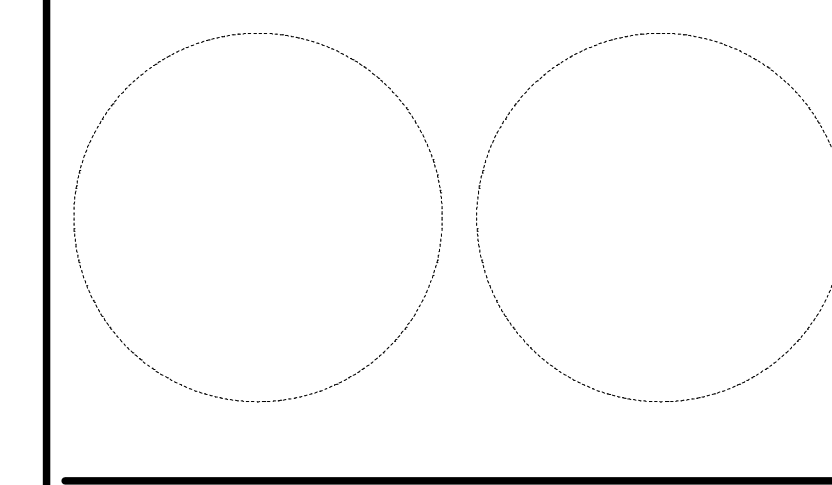
ST CLEMENTS ACTIVITY CENTRE DONALD ROAD, NAROL, MB R1C Main Floor - GROSS FLOOR AREAS			
Common Entrance	70.134 sq m	754.89 sq ft	
Arts & Crafts Studio	21.901 sq m	235.74 sq ft	
Day Care	86.525 sq m	931.35 sq ft	
[1] SUBTOTAL Assembly	178.558 sq m	1,921.98 sq ft	
Canteen	11.654 sq m	125.44 sq ft	
Commercial Kitchen	20.700 sq m	223.59 sq ft	
Bar	7.655 sq m	82.40 sq ft	
Female WCs	37.011 sq m	399.74 sq ft	
Male WCs	28.639 sq m	308.74 sq ft	
[2] SUBTOTAL Assembly Amenity	93.659 sq m	1,008.14 sq ft	
Gym/Multipurpose	448.165 sq m	4,824.01 sq ft	
Referee	5.554 sq m	59.78 sq ft	
Dressing #1	21.516 sq m	230.44 sq ft	
Dressing #2	20.730 sq m	223.14 sq ft	
Dressing/Other #3	21.782 sq m	234.46 sq ft	
Dressing/Other #4	23.270 sq m	249.40 sq ft	
[3] SUBTOTAL Assembly Sport	540.717 sq m	5,820.23 sq ft	
Office	9.956 sq m	107.17 sq ft	
Private Meeting	22.848 sq m	245.83 sq ft	
[4] SUBTOTAL Admin./Support	32.804 sq m	353.00 sq ft	
Passage #1	30.608 sq m	329.46 sq ft	
Viewing Corridor	91.832 sq m	988.47 sq ft	
Corridor #2	22.437 sq m	241.51 sq ft	
Corridor #3	17.903 sq m	192.71 sq ft	
Exit	6.237 sq m	67.13 sq ft	
Vestibule	22.430 sq m	241.11 sq ft	
[5] SUBTOTAL Circulation	191.417 sq m	2,066.40 sq ft	
Zamboni	28.420 sq m	305.91 sq ft	
Junior	4.505 sq m	48.49 sq ft	
Mechanical	18.635 sq m	201.59 sq ft	
[6] SUBTOTAL Services	51.560 sq m	553.99 sq ft	
Store #1	3.999 sq m	43.04 sq ft	
Gym Storage #1	36.572 sq m	393.66 sq ft	
Gym Storage #2	13.559 sq m	145.88 sq ft	
[7] SUBTOTAL Storage	54.127 sq m	583.62 sq ft	
[8] Total GFA Floor	1,421.841 sq m	15,301.43 sq ft	
Canopy Main Entrance	35.502 sq m	382.41 sq ft	
Canopy #2	34.428 sq m	370.58 sq ft	
Canopy #3	74.258 sq m	799.31 sq ft	
[9] Total Covered Outdoors	144.208 sq m	1,552.32 sq ft	
Fenced Mechanical #1	14.275 sq m	153.63 sq ft	
Fenced Mechanical #2	7.181 sq m	77.30 sq ft	
[10] TOTAL Services Outdoors	21.456 sq m	230.95 sq ft	
[11] GFA Floor [8]-[9]-Building A	1,307.220 sq m	14,070.80 sq ft	
[12] GFA Floor [8]-[9]-[10]	1,328.676 sq m	14,301.75 sq ft	
[11]/[12] RATIO Assembly/GFA =		45.6 %	
[2]/[12] RATIO Assen. Amenity/GFA =		8.2 %	
[3]/[12] RATIO Assen. Sport/GFA =		42.3 %	
[4]/[12] RATIO Admin. Support/GFA =		8.9 %	
[5]/[12] RATIO Circulation/GFA =		16.2 %	
[6]/[12] RATIO Services/GFA =		4.5 %	
[7]/[12] RATIO Storage/GFA =		4.2 %	
Total %		100.0 %	

PRELIMINARY
OPTION 1

2	7/7/14	Issued for review.
1	30/6/14	Issued for review.

NO	DATE	ISSUE NOTES
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PROFESSIONAL SEALS



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MISTECTURE

Architecture & Interiors

1749 Portage Avenue, Unit #1, Winnipeg, Manitoba R3J 0E8
Telephone - 204.510.7862

PROJECT TITLE

ST. CLEMENTS ACTIVITY CENTRE Development

LOCATION
Donald Rd, Narol, MB R1C
Rural Municipality of St. Clements

CLIENT
Dillon Consulting
1558 Wilson Place, Winnipeg, MB R3T 0Y4

DRAWING TITLE

Main Floor Plan

PROPOSED

DRAWN AVC	APPROVED HM	DRAWING NO.
SCALE A/N @ ARCH E	DATE ISSUED 2014.07.07	A2-51
PROJECT NUMBER 2014.10	REVISION NO.	





**PRELIMINARY
OPTION 4**

PROFESSIONAL SEALS

MISTECTURE

1749 Portage Avenue, Unit #1, Winnipeg, Manitoba R3J 0E8
Telephone - 204.510.7862

LOCATION
Donald Rd, Narol, MB R1C
Rural Municipality of St. Clements

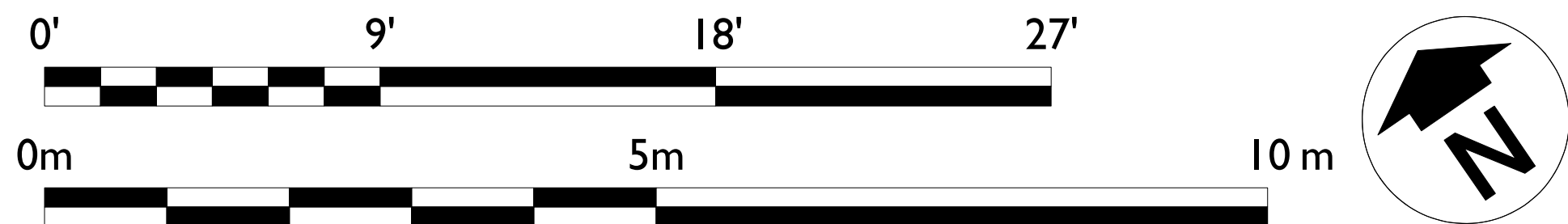
CLIENT
Dillon Consulting
1558 Willson Place, Winnipeg, MB R3T 0Y4

DRAWING TITLE

PROPOSED



Second floor plan
SCALE 1:50 PROPOSED





natural landscapes_agricultural land_prairie grass_river_riparian buffer_wetlands_cattails_wild flowers

our history



historic elements_fieldstone_red framed windows_wrought iron_marking the entry_fieldstone pyramid

our community



Lockport dam_bridge_first nation history_rural residential_red colour_wood_agriculture_strength

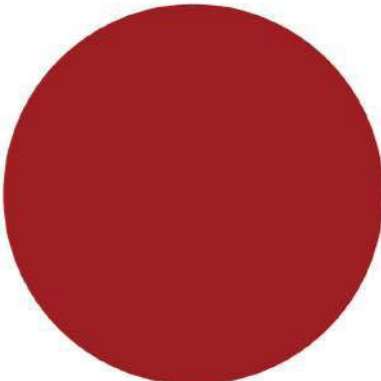
design features

1.

materials/textures


timber


fieldstone


red colour


prairie landscape


wild flowers


wrought iron fencing


eco paving

2.

sustainability/LEED

eco paving - to maintain water on site by minimizing runoff, and be visually appealing

solar lighting - throughout the facility grounds to ensure safety

storm water management - slopes and ditches to maintain storm water on site minimizing runoff

native plants, natural vegetation - prairie grass and wetlands to avoid irrigation expenses, healthy biomass to keep nutrients from our waters

materials and resources - durable interior and exterior finishes with low maintenance

locally sourced materials - low VOC paints, low embodied energy and high recycled content materials

energy efficient building envelope - superior insulation to reduce heating/cooling cost

power smart and water conserving fixtures - low flow sink and dual flush toilets

natural ventilation and daylight - to reduce lighting and allow indoor activities

air quality and occupant comfort - innovation in design

walkability - bike racks at the entrance



3.

outdoor facilities

hockey rink - located close to the door for skaters, viewing corridor

soccer/lacrosse field - multipurpose use

natural play structures - for the community and daycare use

splash pad - water feature for kids

green gym - outdoor workout place, close to play structures to create interaction between parents and children with exercise opportunities

community gathering spaces - welcoming entrance, seating

landscaped surroundings - native plants, representative landscape at the front

parking - eco paving, can be used for other outdoor activities like Farmers' Market

walking path - a section can be used as skating path in the winter



